

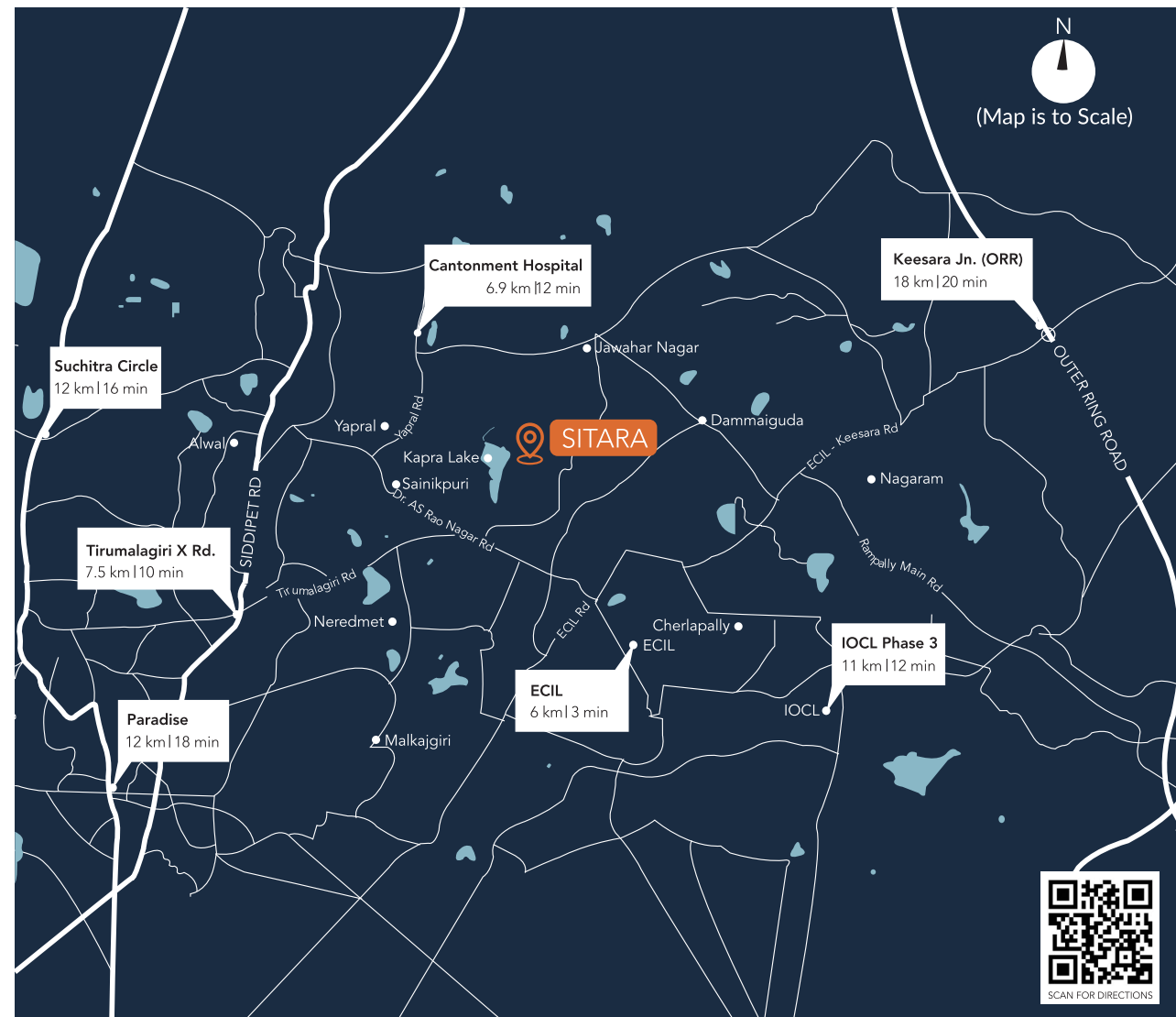


K. RAVINDER REDDY

Chairman & Managing Director

BUILT OVER 38,000+ HOMES IN
38 YEARS & VOTED SOUTH INDIA'S
"MOST PREFERRED BUILDER"

LOCATION MAP



Terms and Conditions Apply*



SAINIKPURI
6.50 ACRES
70% OPEN SPACE
5 BUILDINGS
1 & 2 BHK
1326 HOMES

RERA No. P02200000368

REACH US



VISIT OUR OFFICE

3rd Floor, Keerthi & Pride Towers,
Road #2, Banjara Hills, Hyderabad-34.



GIVE US A CALL

Office : 079 6900 3626



SEND US AN EMAIL

sales@janapriya.com
connect@janapriya.com



www.janapriya.com | Connect us on [f](#) [i](#) [t](#) [l](#) [v](#)

NOTE: THIS BROCHURE IS ONLY A CONCEPTUAL PRESENTATION AND NOT A LEGAL OFFERING. THE PROMOTERS AND DEVELOPERS RESERVE THE RIGHT TO CHANGE ANY/ALL OF THESE SPECIFICATIONS/ELEVATION SHOWN HERE.

Project Funding by:- SWAMIH INVESTMENT FUND I (Managed by SBI CAP Ventures Ltd.)

SITARA

SITE LAYOUT

SITARA | LAKEFRONT



SPECIFICATIONS

FLOORING : Hall, Bedroom & Kitchen : Vitrified Tiles
Balcony : Ceramic Tiles

DOORS & WINDOWS : Main Door : Non-teak wood door frame + BSC flush shutter | Internal Doors : Non-teak wooden frame + BSC flush shutter
Door Painting: Enamel paint for doors | Windows : UPVC sliding
Hardware : Door set or equivalent

KITCHEN & UTILITY : Platform : 20MM Thick Granite Stone with Nirali
Stainless Steel Sink | Utility Area : Ceramic Tiles

BATHROOMS : Flooring & Dado : Ceramic Tiles | Sanitary Ware &
Fixtures : Aqua Plumber CERA or Equivalent | Plumbing : CPVC pipes

ELECTRICAL SYSTEM : Electrical : Fixtures - ABB or Equivalent
Wiring : FR Wires or Equivalent

PAINTING : External : Exterior putty 2 coats + primer 1 coat + 2 coats
Emulsion Asian Apex paint | Internal : Acrylic Emulsion paint

COMMON AREAS : Lift : OTIS or equivalent | Corridors : Industrial Vitrified tiles
PARKING Area Finish : VDF flooring | Power Backup : Backup for Corridors and Elevators

RAILING : MS Railing

COMMUNITY

KNOWLEDGE CENTRE : School Buses from Indus, Bhavans, DPS, Regal Ford, Cal Public School, etc. | Organised community gatherings for all cultural or festive events. | Many residents are employees from Hi-Tech City, ECIL & NFC.

ACCESSIBILITY : Raitu Bazar on every Wednesday | Children's Play Area is pretty lively in the evening hours. | Gym and Outdoor games see good participation of Adults & Children, between 5am to 9am in the morning & 5pm to 9pm in the evening.

A HOME WHERE EVERYTHING IS WITHIN REACH

35000 SQ.FT. CLUB HOUSE
GYMNASIUM
SWIMMING POOL
CHILDREN'S PARK
INDOOR GAMES
OUTDOOR GAMES
COMMUNITY BANQUET HALL

CABLE TV PROVISIONS
INTERNET PROVISIONS

ATM
CRECHE

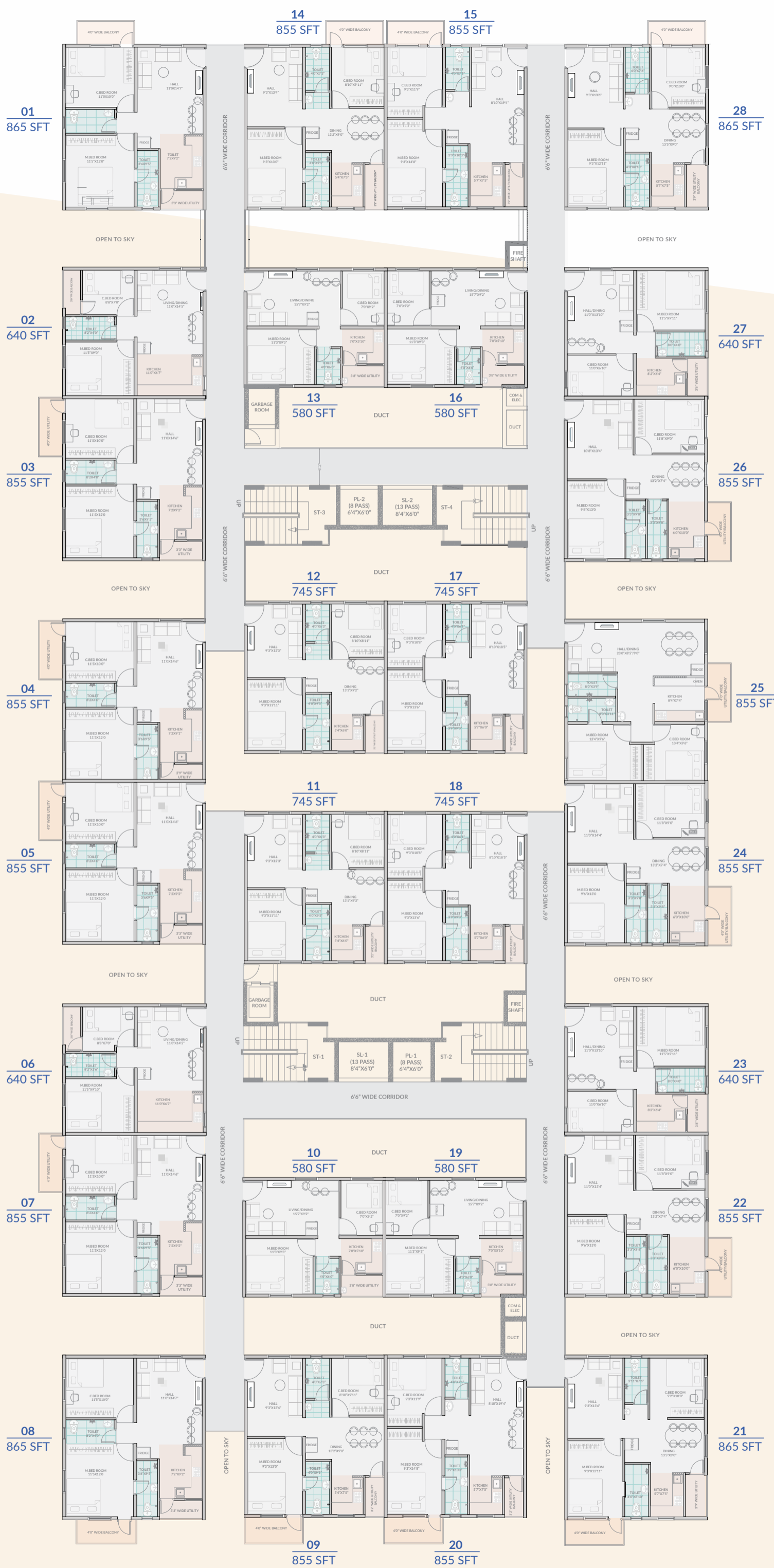
AMPLE PARKING SPACE
24X7 SECURITY

1.5 KM FROM SAINIKPURI
MAIN ROAD
4 KM FROM ECIL
7 KM FROM TIRUMALAGIRI
X ROAD
8 KM FROM SEC-BAD CLUB
9 KM FROM TARNAKA
9 KM FROM JUBILEE
BUS STATION
9 KM FROM SEC-BAD
RAILWAY STATION
12 KM FROM PARADISE



Janapriya

SITARA

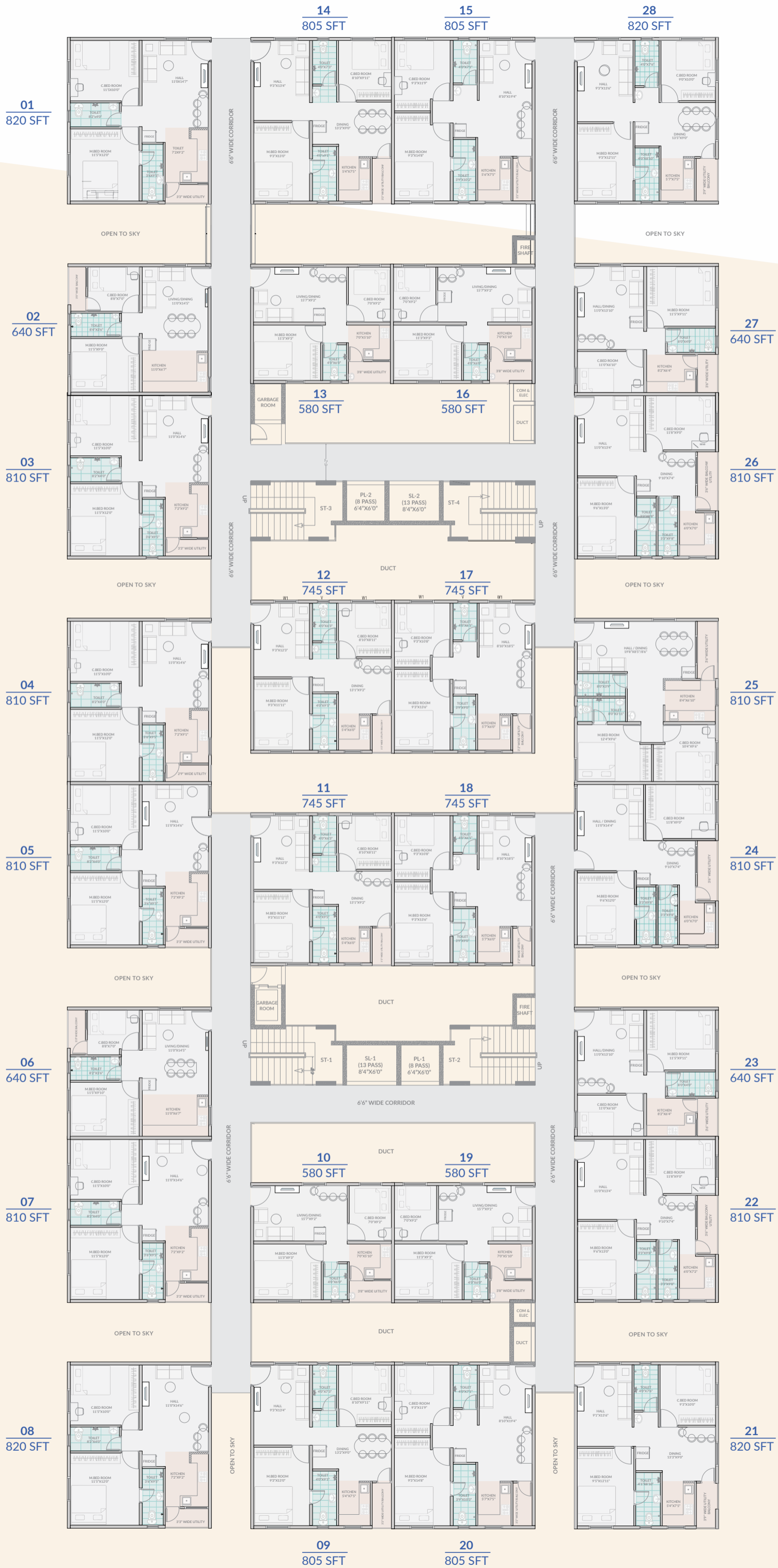


Typical Floor

RERA NO. P02200000368



Janapriya SITARA



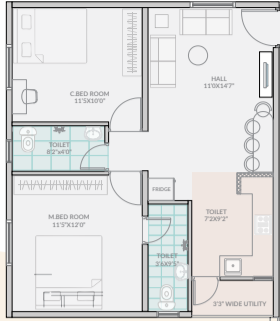
First Floor

RERA NO. P02200000368

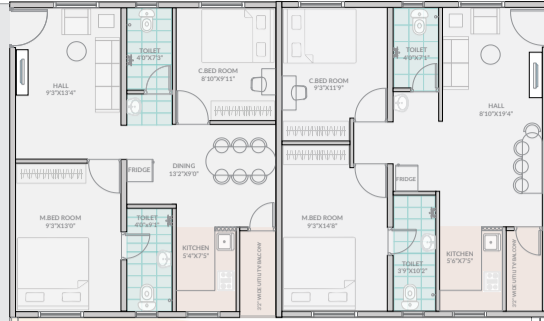


Janapriya SITARA

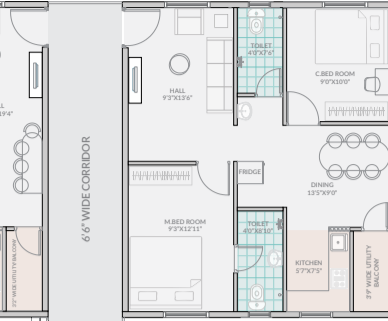
01
820 SFT



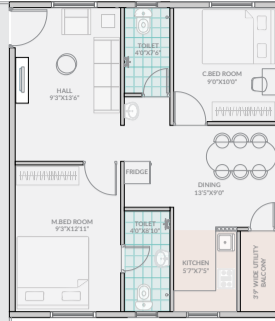
14
805 SFT



15
805 SFT

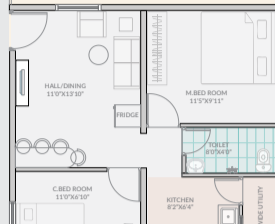
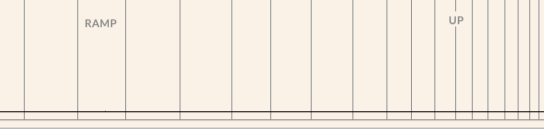
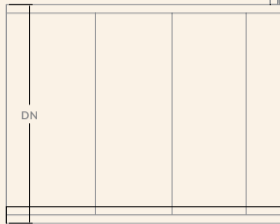


28
820 SFT



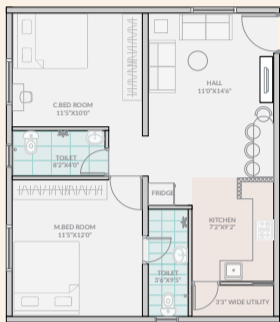
OPEN TO SKY

OPEN TO SKY

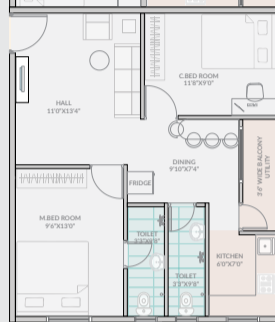
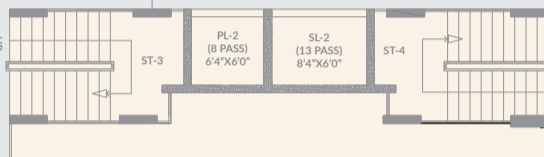


27
640 SFT

03
810 SFT

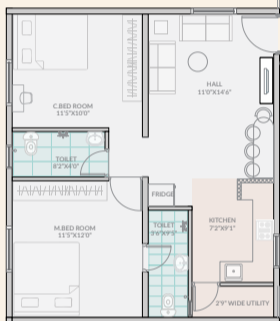


OPEN TO SKY

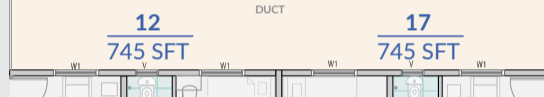


26
810 SFT

04
810 SFT

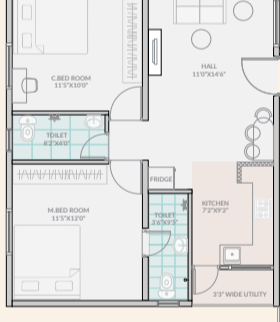


OPEN TO SKY

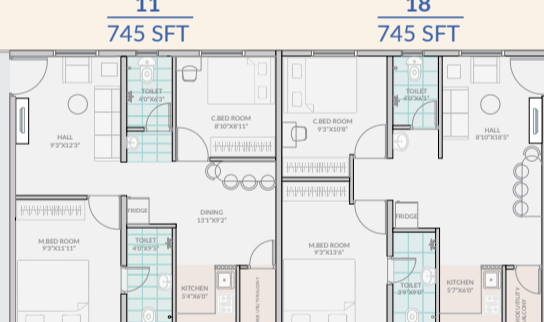


17
745 SFT

05
810 SFT

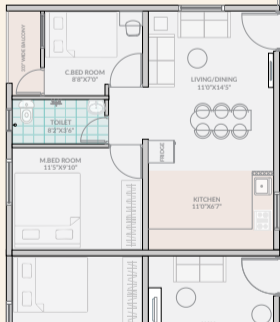


OPEN TO SKY

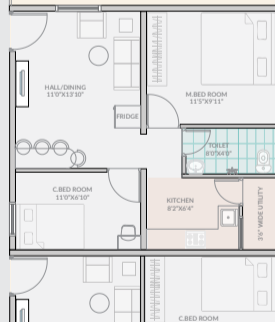
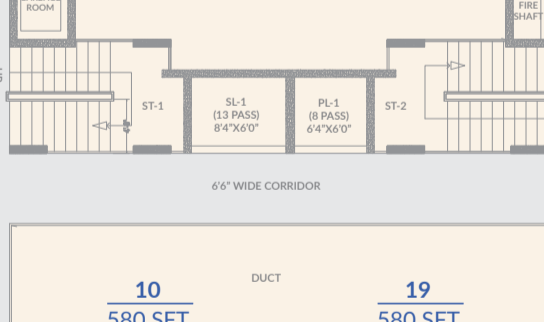


25
810 SFT

06
640 SFT

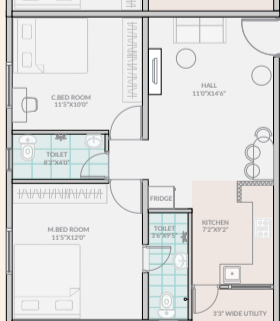


OPEN TO SKY

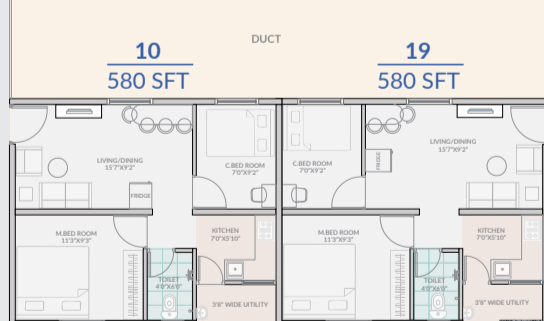


24
810 SFT

07
810 SFT

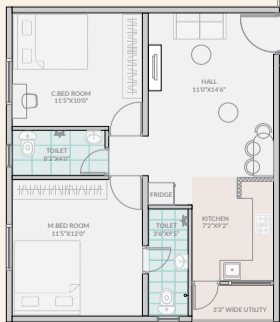


OPEN TO SKY

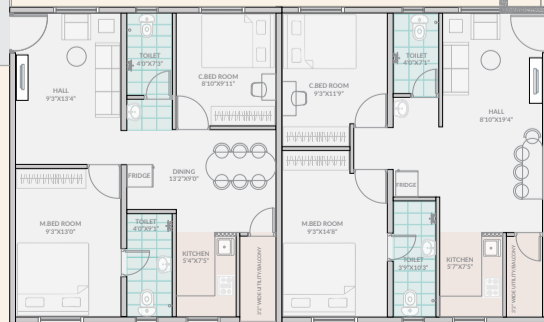


23
640 SFT

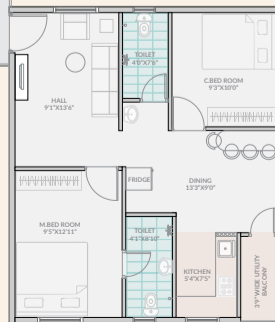
08
820 SFT



OPEN TO SKY



22
810 SFT



21
820 SFT



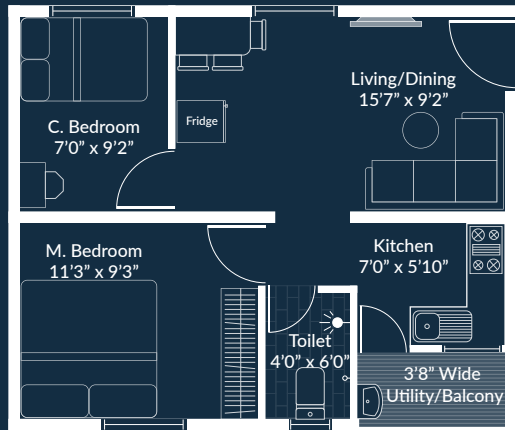
Ground Floor

RERA NO. P02200000368

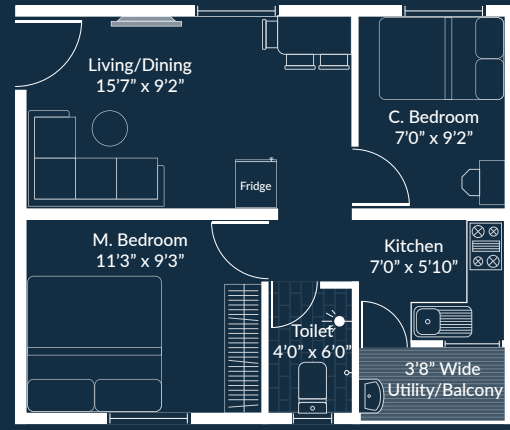
SITE LAYOUT



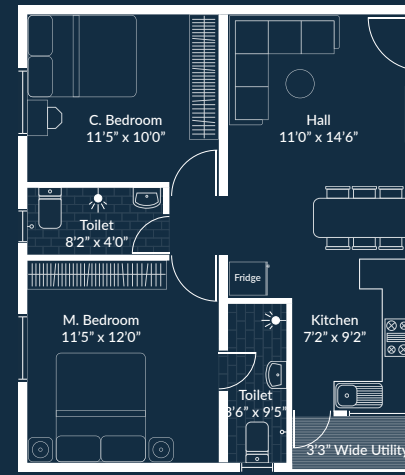
SITARA FLOOR PLANS



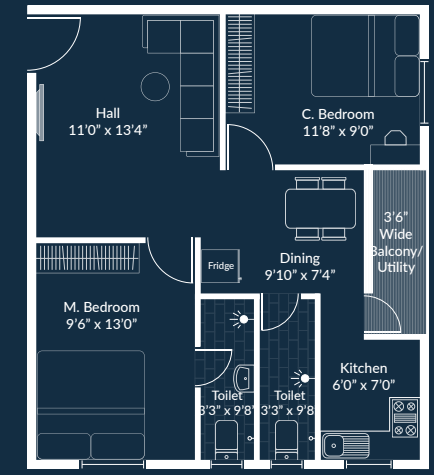
East Facing
 Saleable Area 580 sq.ft. (53.88 sq.m)
 Carpet Area 410.84 sq.ft. (38.17 sq.m)



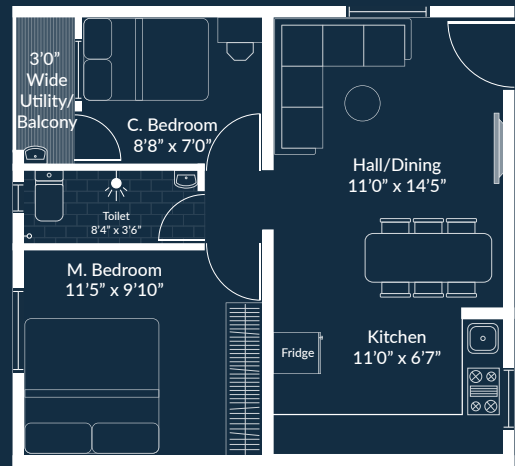
West Facing
 Saleable Area 580 sq.ft. (53.88 sq.m)
 Carpet Area 410.99 sq.ft. (38.18 sq.m)



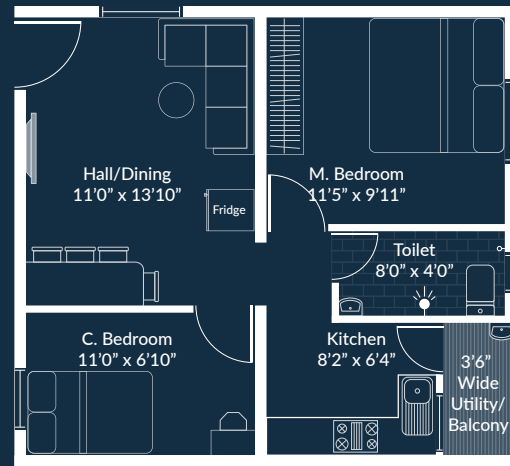
East Facing
 Saleable Area 810 sq.ft. (75.25 sq.m)
 Carpet Area 590.63 sq.ft. (54.87 sq.m)



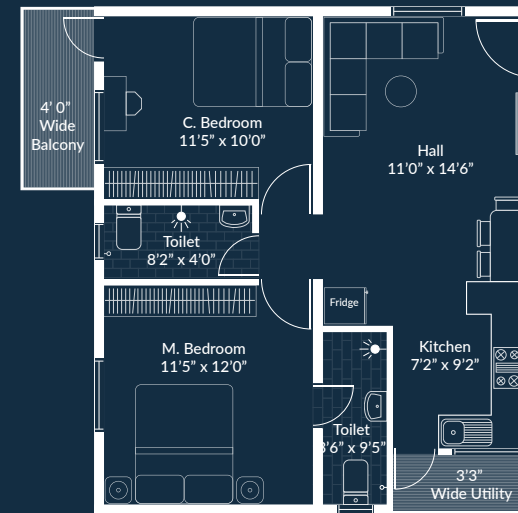
West Facing
 Saleable Area 810 sq.ft. (75.25 sq.m)
 Carpet Area 578.83 sq.ft. (53.77 sq.m)



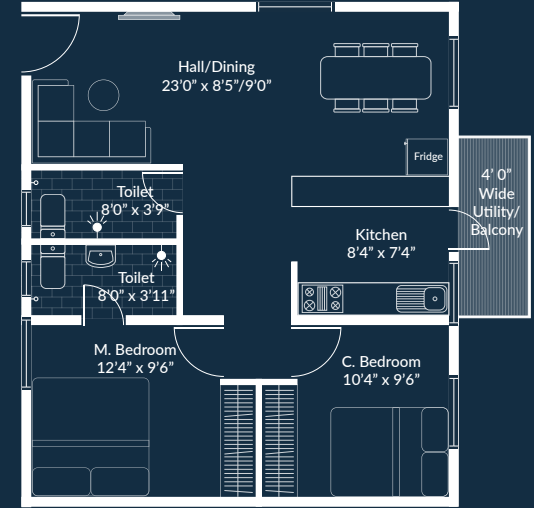
East Facing
 Saleable Area 640 sq.ft. (59.46 sq.m)
 Carpet Area 465.03 sq.ft. (43.20 sq.m)



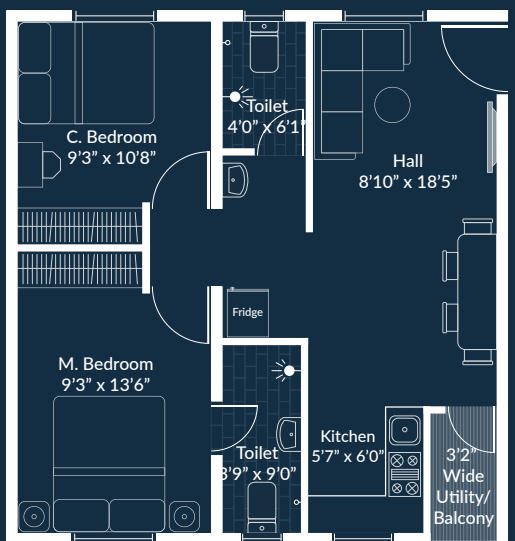
West Facing
 Saleable Area 640 sq.ft. (59.46 sq.m)
 Carpet Area 461.68 sq.ft. (42.89 sq.m)



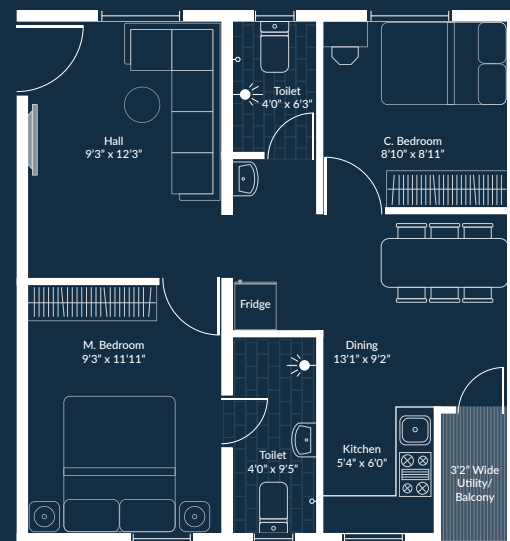
East Facing
 Saleable Area 855 sq.ft. (79.43 sq.m)
 Carpet Area 592.03 sq.ft. (55.00 sq.m)



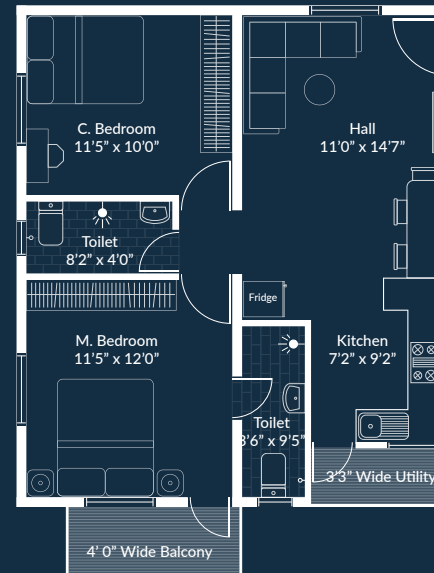
West Facing
 Saleable Area 855 sq.ft. (79.43 sq.m)
 Carpet Area 614.29 sq.ft. (57.07 sq.m)



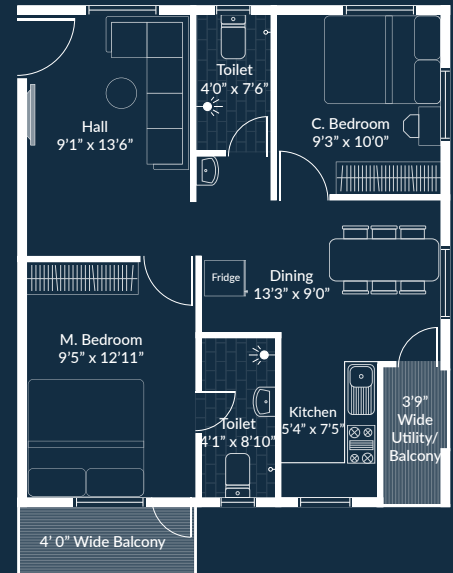
East Facing
 Saleable Area 745 sq.ft. (69.21 sq.m)
 Carpet Area 537.05 sq.ft. (49.89 sq.m)



West Facing
 Saleable Area 745 sq.ft. (69.21 sq.m)
 Carpet Area 539.99 sq.ft. (50.17 sq.m)



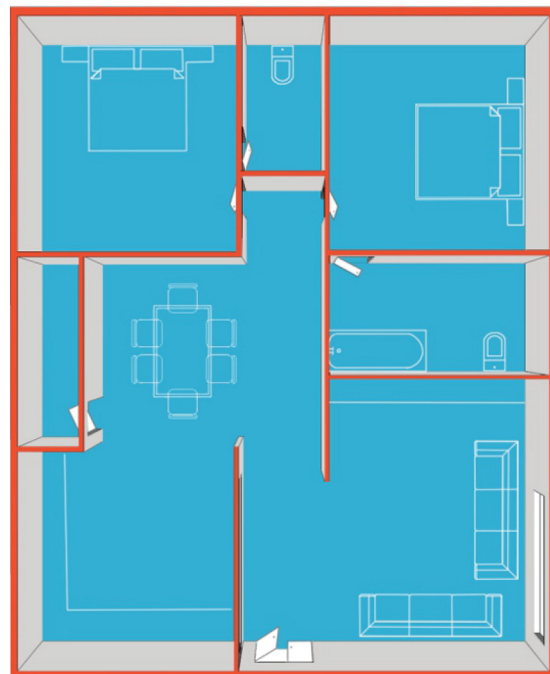
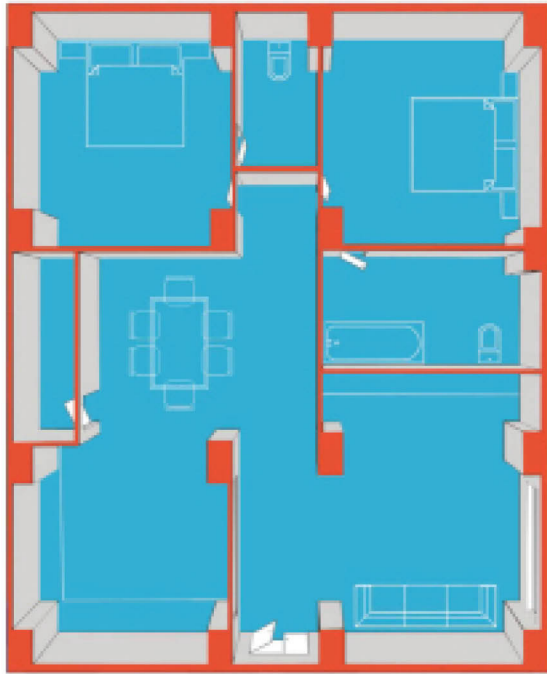
East Facing
 Saleable Area 865 sq.ft. (80.36 sq.m)
 Carpet Area 593.81 sq.ft. (55.17 sq.m)



West Facing
 Saleable Area 865 sq.ft. (80.36 sq.m)
 Carpet Area 590.53 sq.ft. (54.86 sq.m)

OUR TECHNOLOGY

We build with German Formwork & Precast Technology
So you get 3% More Carpet Area!



Conventional Point-Load Structures

The walls occupy only 12% of the house 9" external Brick walls & 6" internal Brick walls plus pillars & beams

Our Uniform-Load Structures

The walls occupy only 9% of the house 6" external Shear walls & 4" internal Shear walls no pillars or beams

Here's How We Build Without Pillars...

1 Reinforced Concrete Shear Walls

The entire structure is built of Reinforced Concrete Shear Wall, which mean every wall is as Strong and Enduring as a Pillar

2 Uniform Transfer of Load

The Shear walls act as the pillars and beams of the structure, Thus the load get transferred uniformly from the Slab to the Shear Walls

3 Zero Protrusions

Hence, There would be no Pillar & beam protrusions which means more space in the room & 3% more carpet area

4 3% More Space for Carpet Area

For Every 1000 Sq.ft. Build-Up House You Get 30 Sq.ft. More Carpet Area!

Visit: www.janapriya.com/technology to learn more about our technology

SMART LAYOUT

Attention To Detail To Save Your Money



Light Well

Our consciously widened Light well go all the way through to the ground floor to ensure natural light and ventilation, which reduces the cost of maintenance by 35%



Ergonomic

We lay special emphasis planning a utilitarian & ergonomic living space even in the smallest of homes, considering your day-to-day interaction with the essentials at home



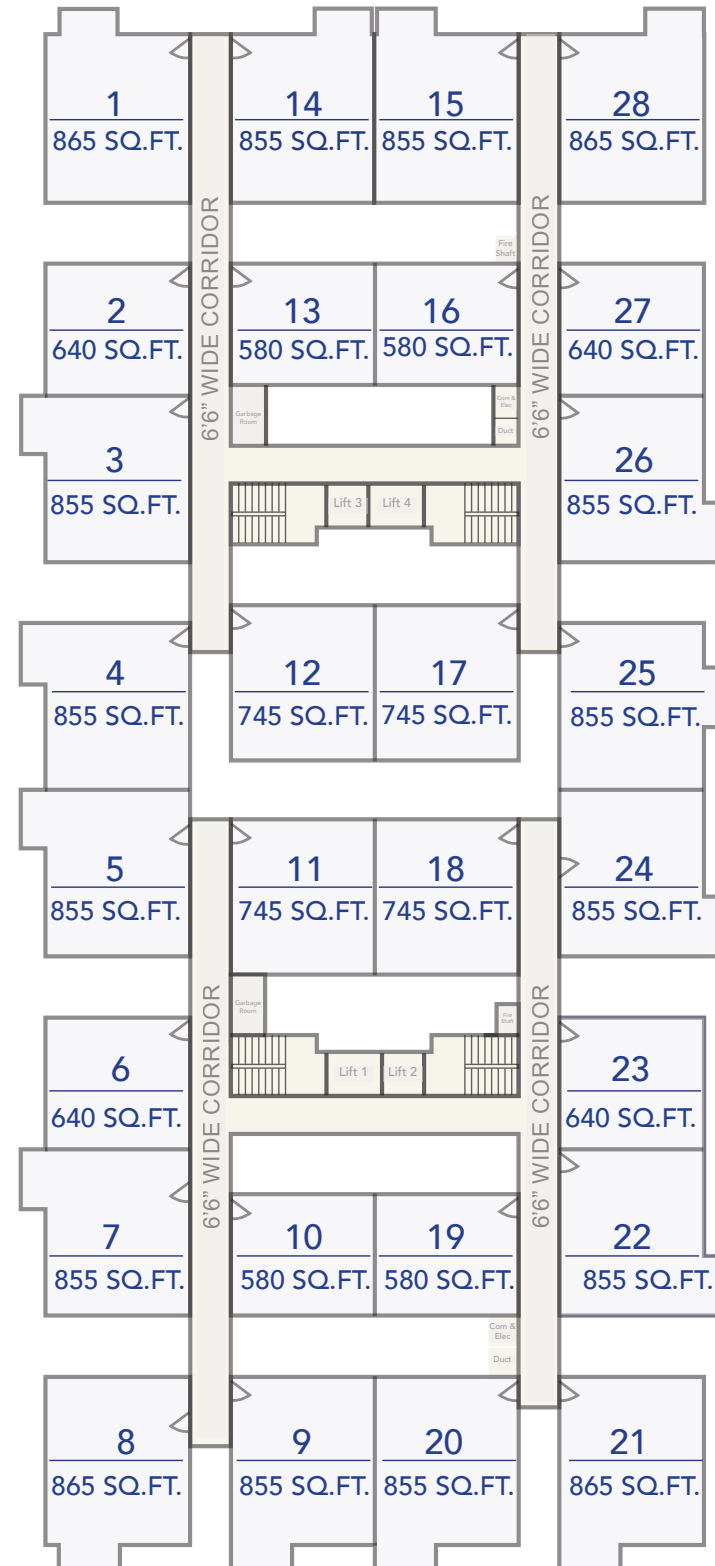
Common Areas

We make sure that the common areas are well planned to minimize any wastage of space or your money.



Maximized Space

We make certain that the balconies are sized aptly to maximize the space in your actual living area, where you need it more.

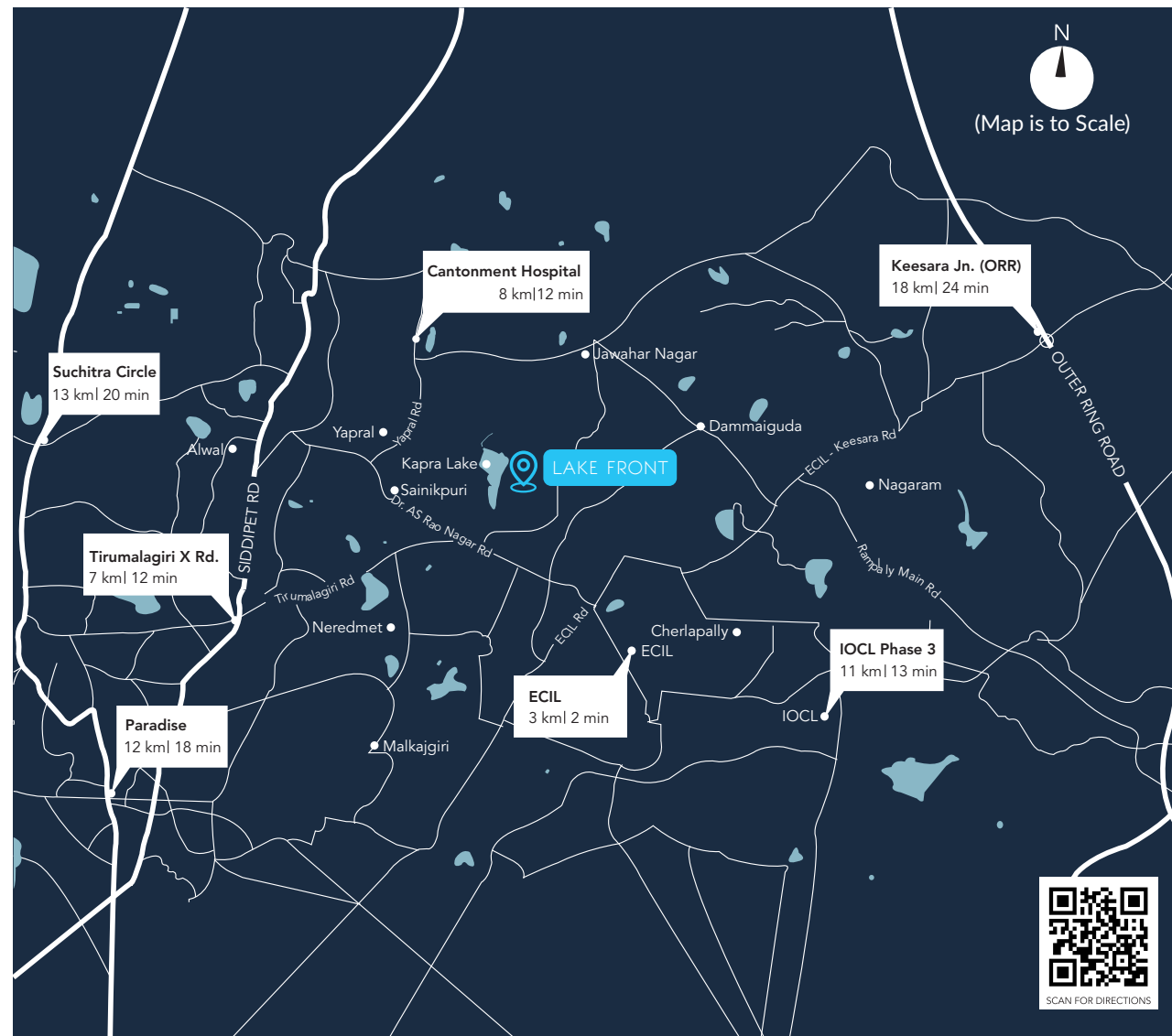




K. RAVINDER REDDY
Chairman & Managing Director

BUILT OVER 38,000+ HOMES IN
38 YEARS & VOTED SOUTH INDIA'S
"MOST PREFERRED BUILDER"

LOCATION MAP



Terms and Conditions Apply*

REACH US



VISIT OUR OFFICE
3rd Floor, Keerthi & Pride Towers,
Road #2, Banjara Hills, Hyderabad-34.



GIVE US A CALL
Office : 079 6900 3626



SEND US AN EMAIL
sales@janapriya.com
connect@janapriya.com

www.janapriya.com | Connect us on 

NOTE: THIS BROCHURE IS ONLY A CONCEPTUAL PRESENTATION AND NOT A LEGAL OFFERING. THE PROMOTERS AND DEVELOPERS RESERVE THE RIGHT TO CHANGE ANY/ALL OF THESE SPECIFICATIONS/ELEVATION SHOWN HERE.

Project Funding by:- SWAMIH INVESTMENT FUND I (Managed by SBI CAP Ventures Ltd.)

LAKE FRONT SAINIKPURI

SECUNDERABAD

5.83 ACRES | 5 BUILDINGS | 2 & 3 BHK | 920 HOMES



SITE LAYOUT

SITARA LAKEFRONT



SPECIFICATIONS

FLOORING : Hall, Bedroom & Kitchen : Vitrified Tiles | Balcony : Ceramic Tiles

DOORS & WINDOWS : Main Door : Teak wood door frame + flush door shutter | Internal Doors : Non-teak wooden frames with flush door shutters
Door Painting: Enamel paint for doors | Windows : UPVC sliding
Hardware : Door set or equivalent

KITCHEN & UTILITY : Platform : 30MM Thick Granite Stone with Nirali
Stainless Steel Sink | Utility Area : Ceramic Tiles

BATHROOMS : Flooring & Dado : Ceramic Tiles | Sanitary Ware & Fixtures :
Aqua Plumber CERA or Equivalent | Plumbing : CPVC pipes

ELECTRICAL SYSTEM : Electrical : Fixtures : ABB (or) Equivalent

PAINTING : External : Exterior putty 2 coats + primer 1 coat + 2 coats
Emulsion Asian Apex paint | Internal : Acrylic Emulsion paint

COMMON AREAS : Lift : OTIS or equivalent | Corridors : Industrial Vitrified
tiles PARKING Area Finish : VDF flooring | Power Backup : Backup For
Corridors and Elevators

RAILING : MS Railing

COMMUNITY

KNOWLEDGE CENTRE : School Buses from Indus, Bhavans, DPS, Regal Ford,
Cal Public School, etc. | Organised community gatherings for all cultural or
festive events. | Many residents are employees from Hi-Tech City, ECIL & NFC.

ACCESSIBILITY : Raitu Bazar on every Wednesday | Children's Play Area is
pretty lively in the evening hours. | Gym and Outdoor games see good
participation of Adults & Children, between 5am to 9am in the morning &
5pm to 9pm in the evening.

A HOME WHERE EVERYTHING IS WITHIN REACH

35000 SQ.FT. CLUB HOUSE
GYMNASIUM
SWIMMING POOL
CHILDREN'S PARK
INDOOR GAMES
OUTDOOR GAMES
COMMUNITY BANQUET HALL

CABLE TV PROVISIONS
INTERNET PROVISIONS

ATM
CRECHE

AMPLE PARKING SPACE
24X7 SECURITY

1 KM FROM SAINIKPURI
MAIN ROAD
3 KM FROM ECIL
7 KM FROM TIRUMALAGIRI
X ROAD
8 KM FROM SEC-BAD CLUB
9 KM FROM TARNAKA
9 KM FROM JUBLEE
BUS STATION
9 KM FROM SEC-BAD
RAILWAY STATION
12 KM FROM PARADISE

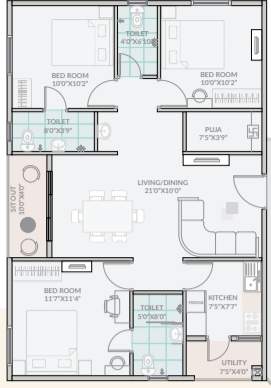




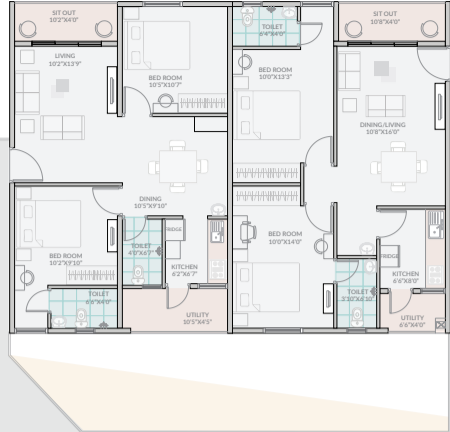
Janapriya

LAKE FRONT

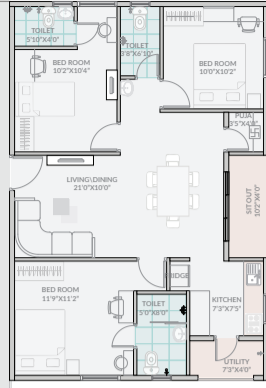
01
1195 SFT



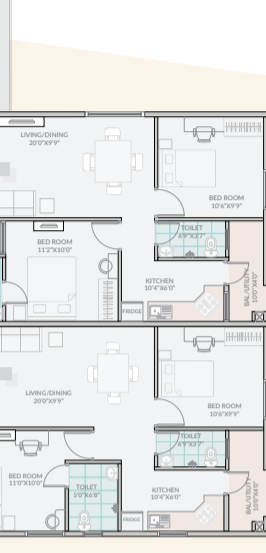
02
890 SFT



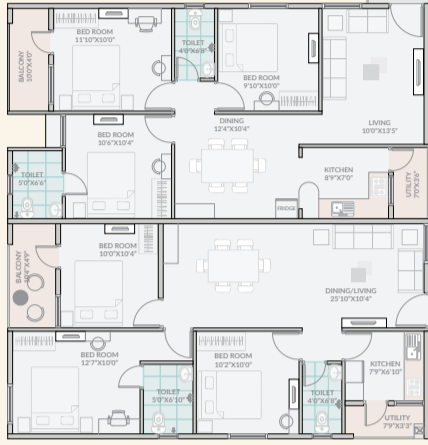
21
890 SFT



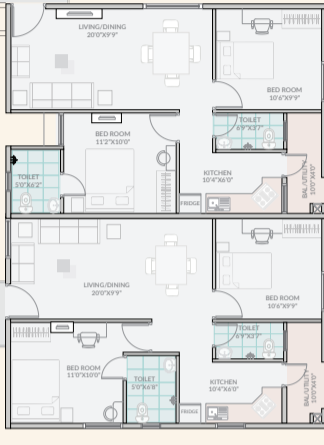
22
1195 SFT



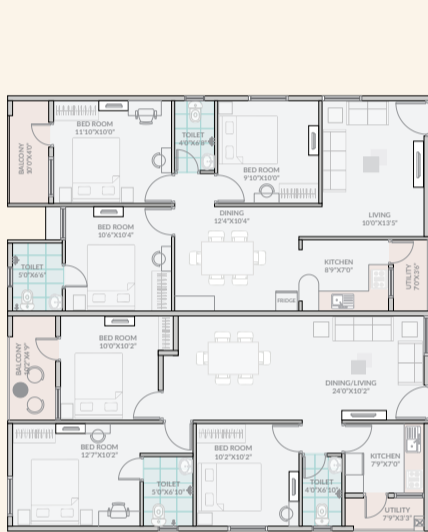
03
1095 SFT



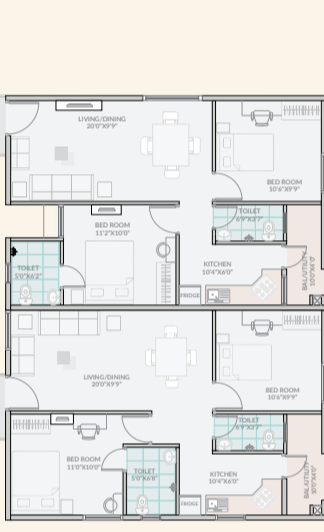
20
810 SFT



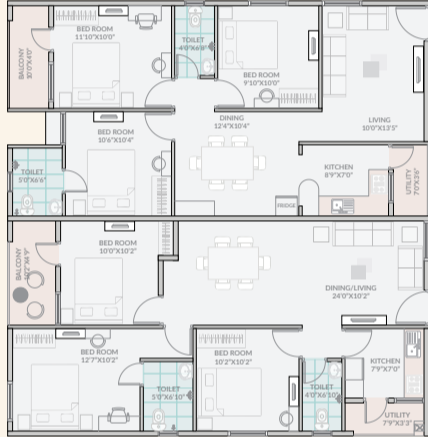
04
1115 SFT



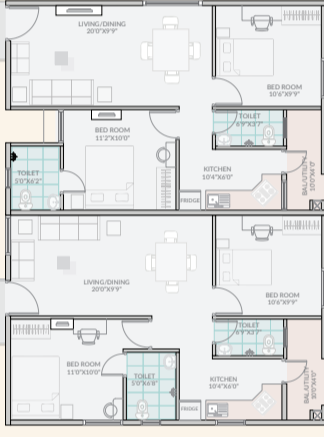
19
830 SFT



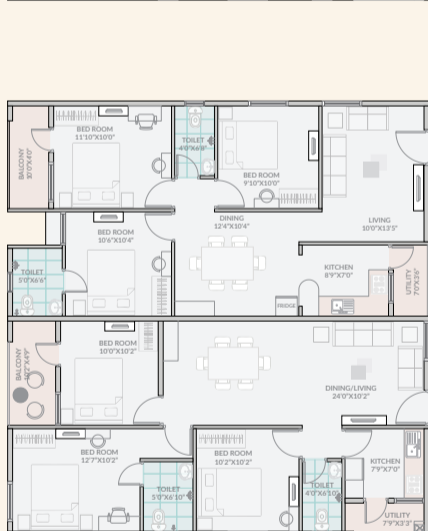
05
1095 SFT



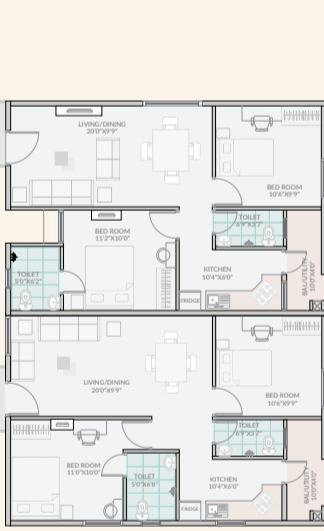
18
810 SFT



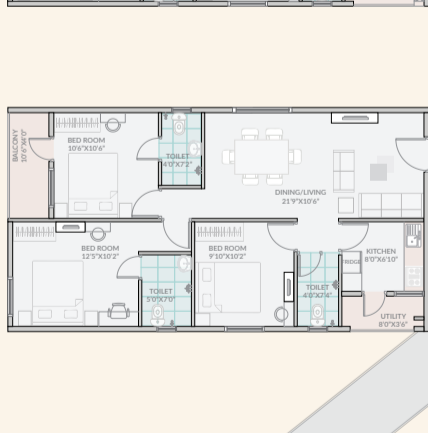
06
1115 SFT



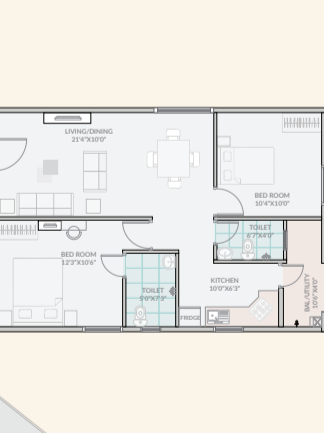
17
830 SFT



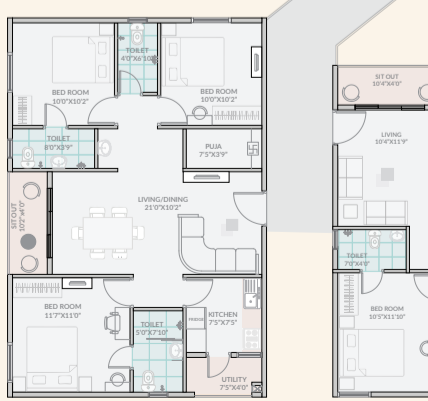
07
1095 SFT



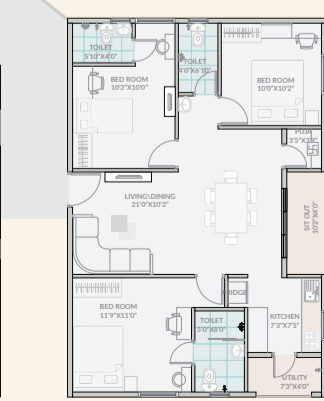
16
810 SFT



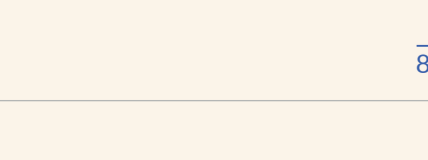
08
1115 SFT



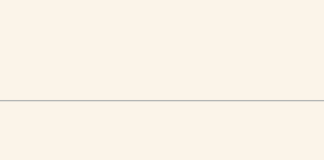
15
830 SFT



09
1150 SFT

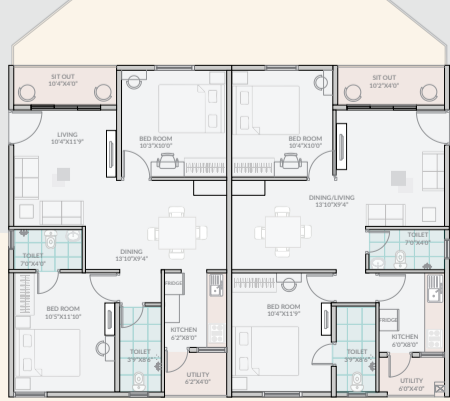


14
910 SFT

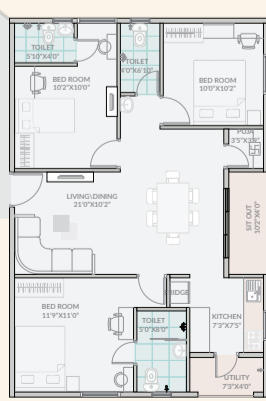


10
1195 SFT

11
890 SFT



12
890 SFT



13
1195 SFT

GROUND & FIRST FLOOR PLAN BLOCK - C1

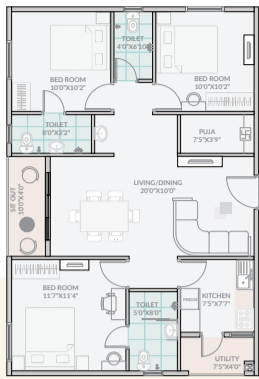




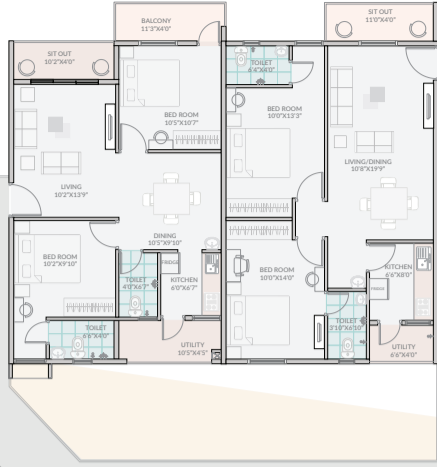
Janapriya

LAKE FRONT

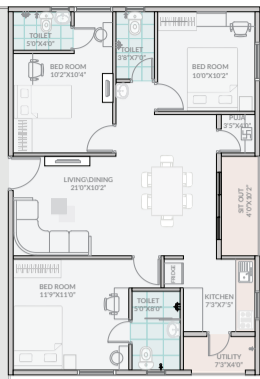
01
1195 SFT



02
945 SFT

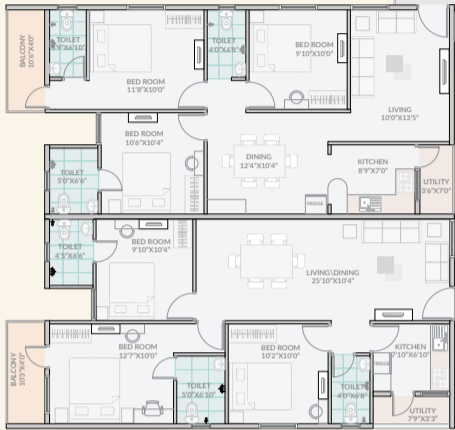


21
945 SFT



22
1195 SFT

03
1150 SFT



6'6" WIDE CORRIDOR

6'6" WIDE CORRIDOR

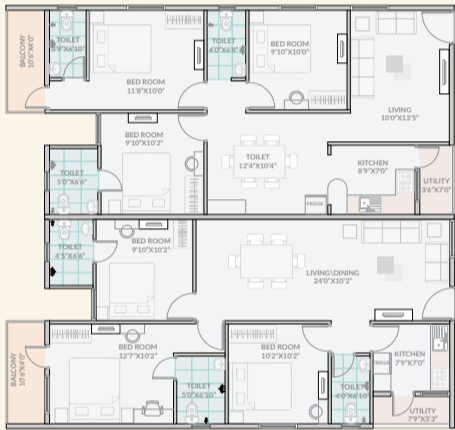
6'6" WIDE CORRIDOR

6'6" WIDE CORRIDOR

6'6" WIDE CORRIDOR

6'6" WIDE CORRIDOR

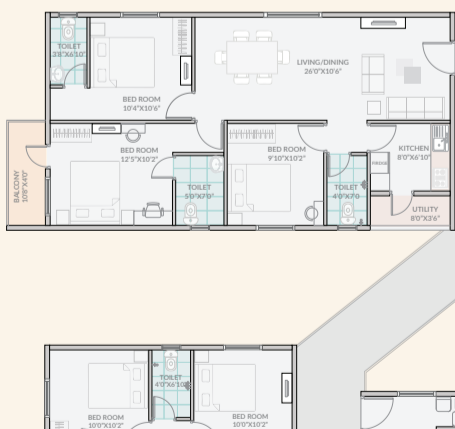
04
1150 SFT



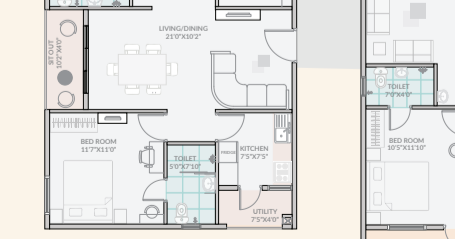
05
1150 SFT



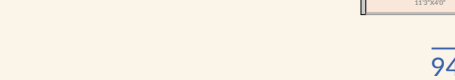
06
1150 SFT



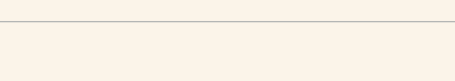
07
1150 SFT



08
1150 SFT



09
1200 SFT



10
1195 SFT

11
945 SFT

12
945 SFT

20
860 SFT

19
880 SFT

18
860 SFT

17
880 SFT

16
860 SFT

15
880 SFT

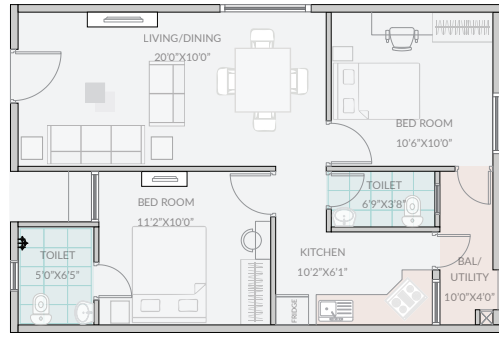
14
960 SFT

13
1195 SFT

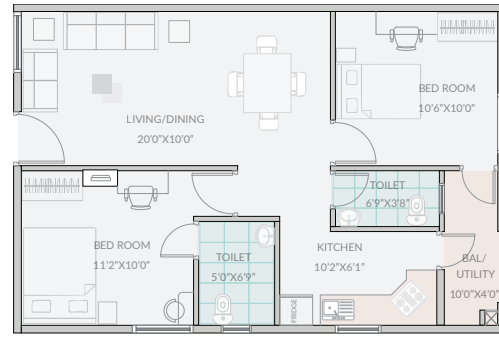
TYPICAL FLOOR PLAN BLOCK - C1



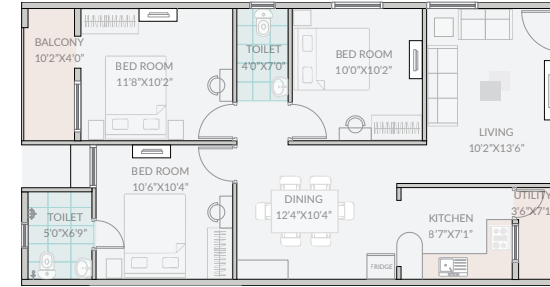
LAKE FRONT FLOOR PLANS



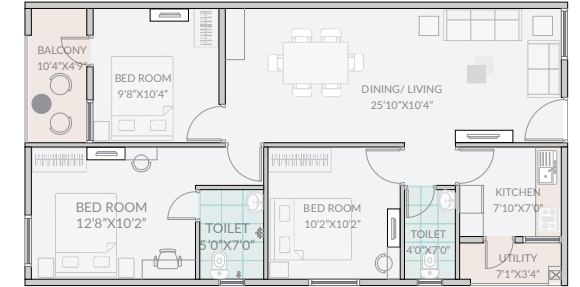
West Facing
 Saleable Area 810 sq.ft (75.25 sq.m)
 Carpet Area 568.71 sq.ft (52.83 sq.m)



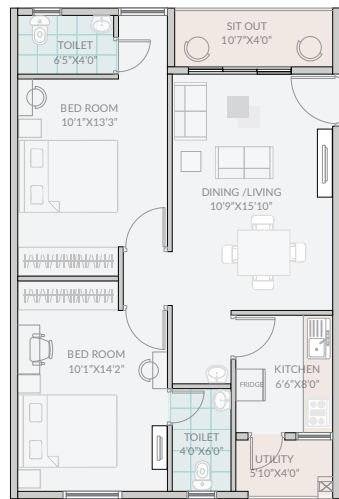
West Facing
 Saleable Area 830 sq.ft (77.10 sq.m)
 Carpet Area 589.26 sq.ft (54.74 sq.m)



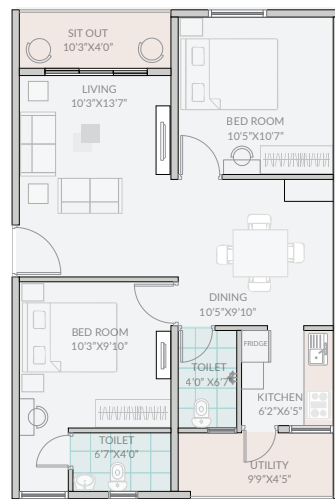
East Facing
 Saleable Area 1095 sq.ft (101.73 sq.m)
 Carpet Area 765.95 sq.ft (71.16 sq.m)



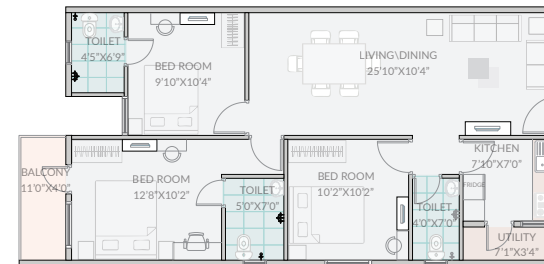
East Facing
 Saleable Area 1115 sq.ft (103.59 sq.m)
 Carpet Area 776.32 sq.ft (72.12 sq.m)



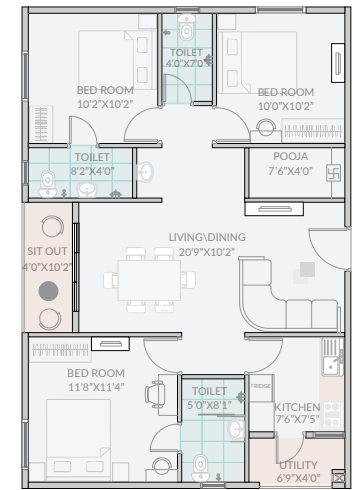
East Facing
 Saleable Area 890 sq.ft (82.68 sq.m)
 Carpet Area 615.21 sq.ft (57.15 sq.m)



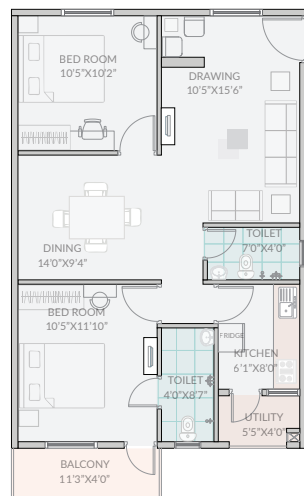
West Facing
 Saleable Area 890 sq.ft (82.68 sq.m)
 Carpet Area 591.03 sq.ft (54.91 sq.m)



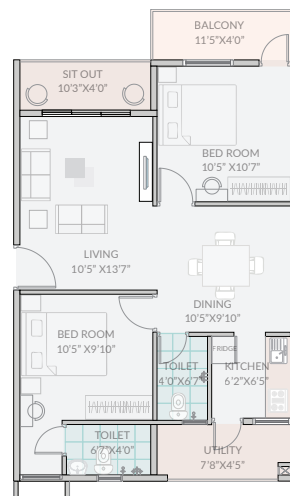
East Facing
 Saleable Area 1150 sq.ft (106.83 sq.m)
 Carpet Area 776.37 sq.ft (73.95 sq.m)



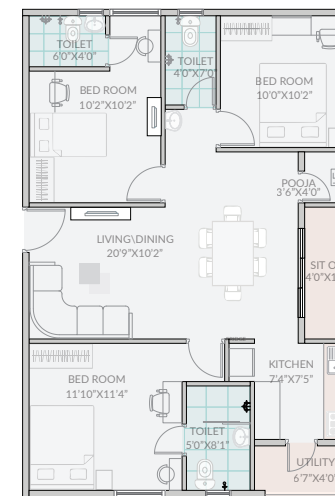
East Facing
 Saleable Area 1195 sq.ft (111.02 sq.m)
 Carpet Area 837.50 sq.ft (77.81 sq.m)



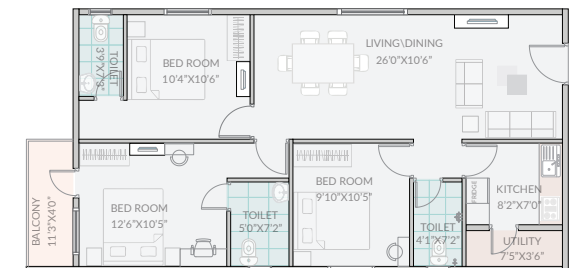
East Facing
 Saleable Area 945 sq.ft (87.79 sq.m)
 Carpet Area 653.30 sq.ft (60.69 sq.m)



West Facing
 Saleable Area 945 sq.ft (87.79 sq.m)
 Carpet Area 592.28 sq.ft (55.02 sq.m)



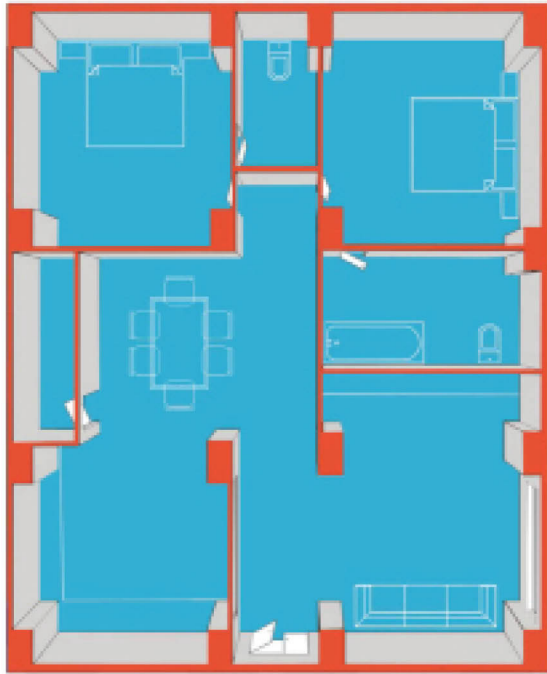
West Facing
 Saleable Area 1195 sq.ft (111.02 sq.m)
 Carpet Area 838.11 sq.ft (77.86 sq.m)



East Facing
 Saleable Area 1200 sq.ft (111.48 sq.m)
 Carpet Area 840.08 sq.ft (78.05 sq.m)

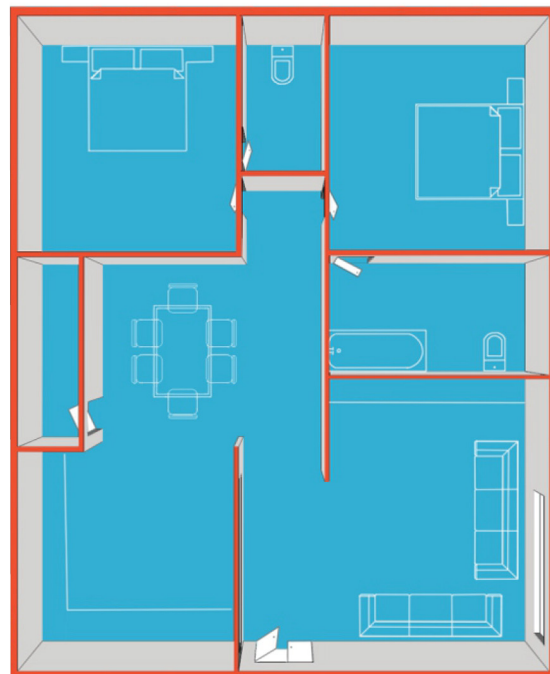
OUR TECHNOLOGY

We build with German Formwork & Precast Technology
So you get 3% More Carpet Area!



Conventional Point-Load Structures

The walls occupy only 12% of the house 9" external Brick walls & 6" internal Brick walls plus pillars & beams



Our Uniform-Load Structures

The walls occupy only 9% of the house 6" external Shear walls & 4" internal Shear walls no pillars or beams

Here's How We Build Without Pillars...

1 Reinforced Concrete Shear Walls

The entire structure is built of Reinforced Concrete Shear Wall, which mean every wall is as Strong and Enduring as a Pillar

2 Uniform Transfer of Load

The Shear walls act as the pillars and beams of the structure, Thus the load get transferred uniformly from the Slab to the Shear Walls

3 Zero Protrusions

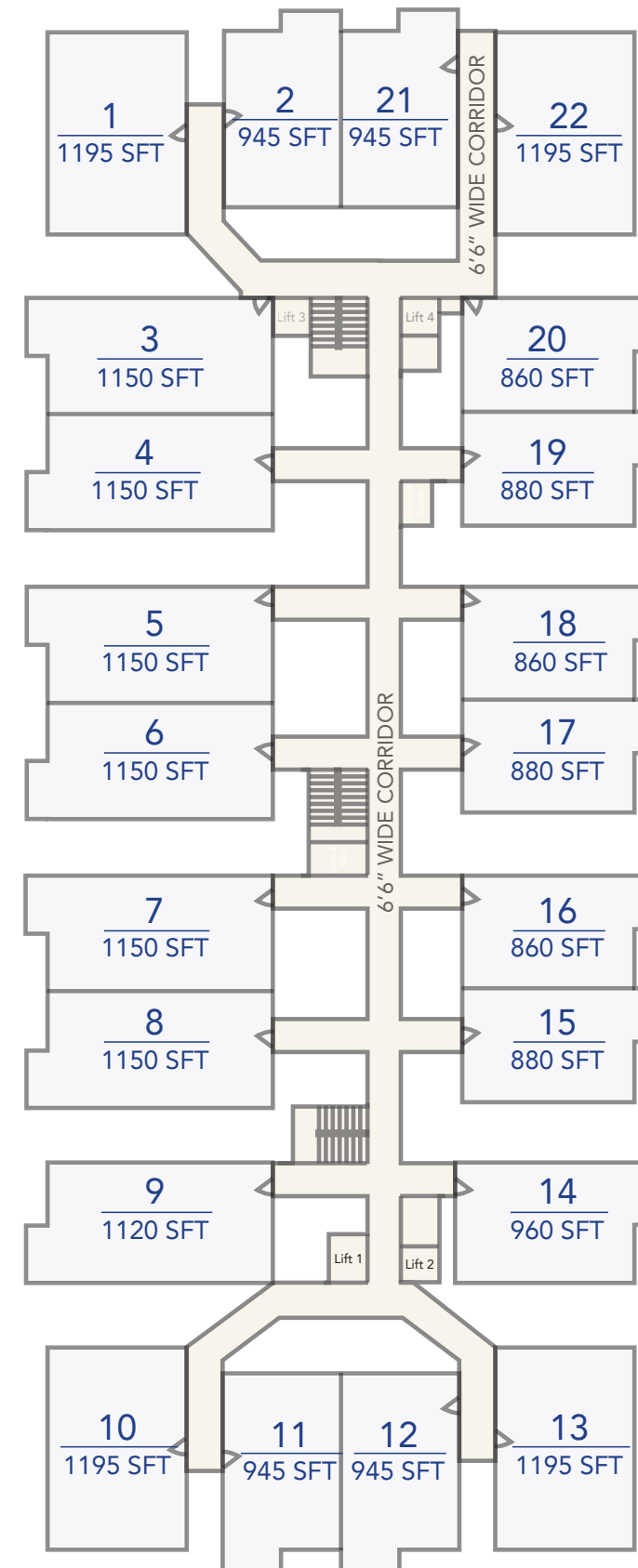
Hence, There would be no Pillar & beam protrusions which means more space in the room & 3% more carpet area

4 3% More Space for Carpet Area

For Every 1000sft Build-Up House You Get 30sft More Carpet Area!

Visit: www.janapriya.com/technology to learn more about our technology

SMART LAYOUT



Attention To Detail To Save Your Money



Light Well

Our consciously widened Light well go all the way through to the ground floor to ensure natural light and ventilation, which reduces the cost of maintenance by 35%



Ergonomic

We lay special emphasis planning a utilitarian & ergonomic living space even in the smallest of homes, considering your day-to-day interaction with the essentials at home



Common Areas

We make sure that the common areas are well planned to minimize any wastage of space or your money.



Maximized Space

We make certain that the balconies are sized aptly to maximize the space in your actual living area, where you need it more.